



Landscape Architectural Land Planning/Environmental Consulting

COBBLESTONE SQUARE  
PREPARED FOR CJM Construction & Development  
PALM BEACH COUNTY, FLORIDA

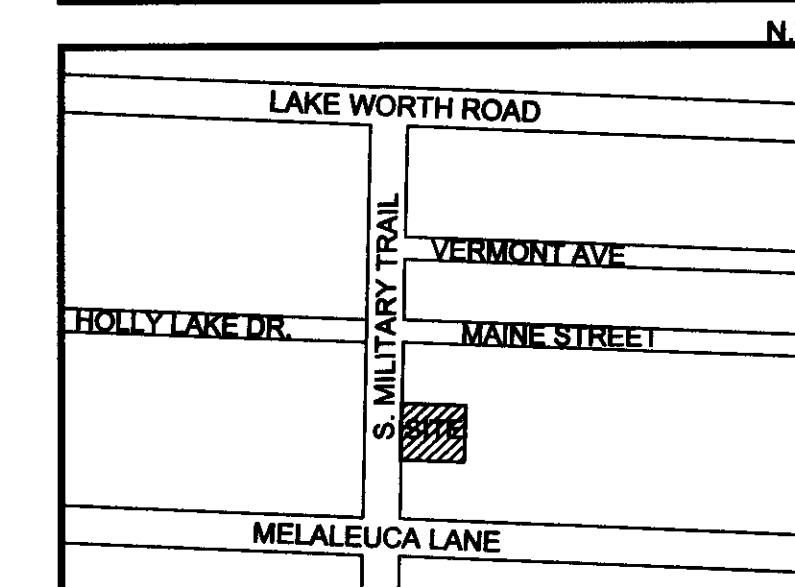
FINAL SITE PLAN

2101 Centrepark West Drive, Suite 100  
West Palm Beach, FL 33409  
561-478-8501

SCALE: 1"=20'-0"  
DRAWN BY: AN/JZ  
DRAWING #: 948.19  
FILE #: 948.19  
DATE: 06-07-06  
08-29-06 11-09-06 04-23-07  
REVISED: 09-26-06 11-14-06 05-29-07  
10-24-06 02-21-07

SHEET #  
1 OF 4

LOCATION MAP



SITE DATA

CONTROL/PETITION NUMBER: 2005-00631  
APPLICATION NUMBER: DRO-2007-00182  
RESOLUTION NUMBER: 2007-0080  
PROJECT NAME: COBBLESTONE SQUARE  
TIER: URBAN/SUBURBAN  
LAND USE DESIGNATION: CH/8  
ZONING DESIGNATION: CG  
OVERLAY DISTRICT: LAKE WORTH WEST CCRT  
PROPOSED USE: GENERAL RETAIL/TYPER 1 REST./OFFICE  
BCC DISTRICT: 3  
SECTION, TOWNSHIP, RANGE: 25/44/42  
PROPERTY CONTROL NO. (PCN): 00-42-44-25-00-000-5970  
LAST BCC APPROVAL DATE: January 25, 2007

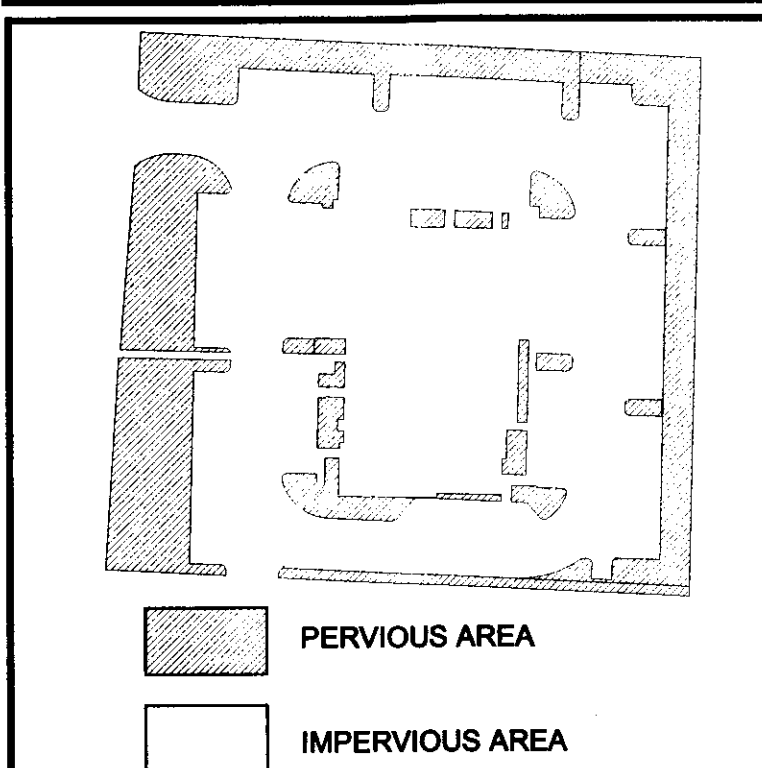
CONCURRENCY APPROVAL table with columns for use type and square feet.

TRAFFIC ANALYSIS ZONE (TAZ) table showing total gross acreage, floor area, and parking requirements.

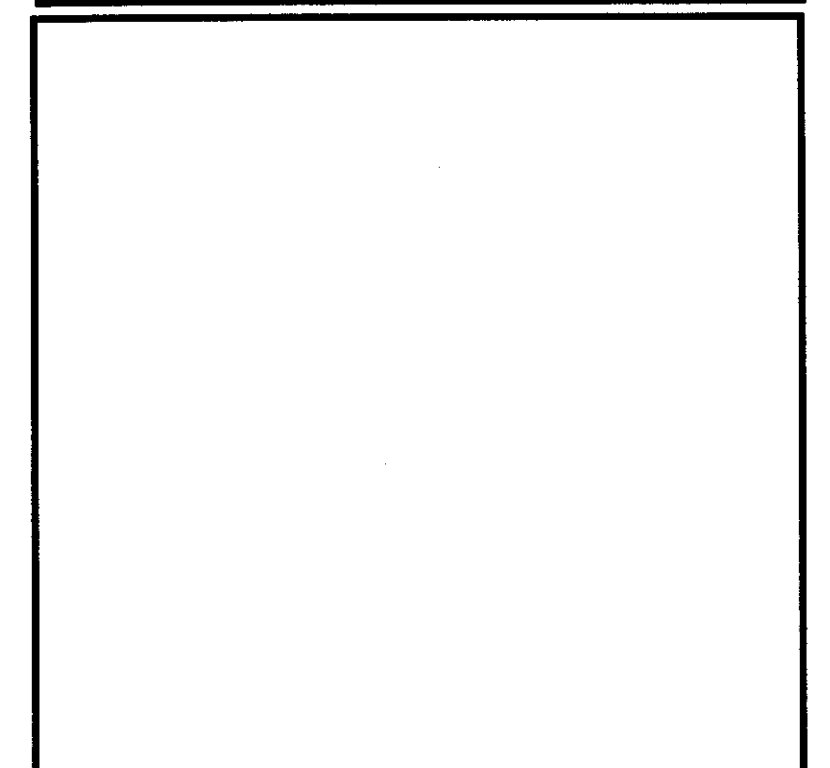
LEGEND table defining abbreviations for acres, square feet, and various setbacks.

- NOTES: 1) ONE NATIVE CANOPY TREE FOR EACH 25 LINEAR FEET OF SIDEWALK... 2) FOUNDATION PLANTING IN EXCESS OF CODE REQUIREMENTS... 3) BUILDING CANOPY SQUARE FOOTAGE IS INCLUDED IN IMPERVIOUS AREA CALCULATIONS...

PERVIOUS AREA

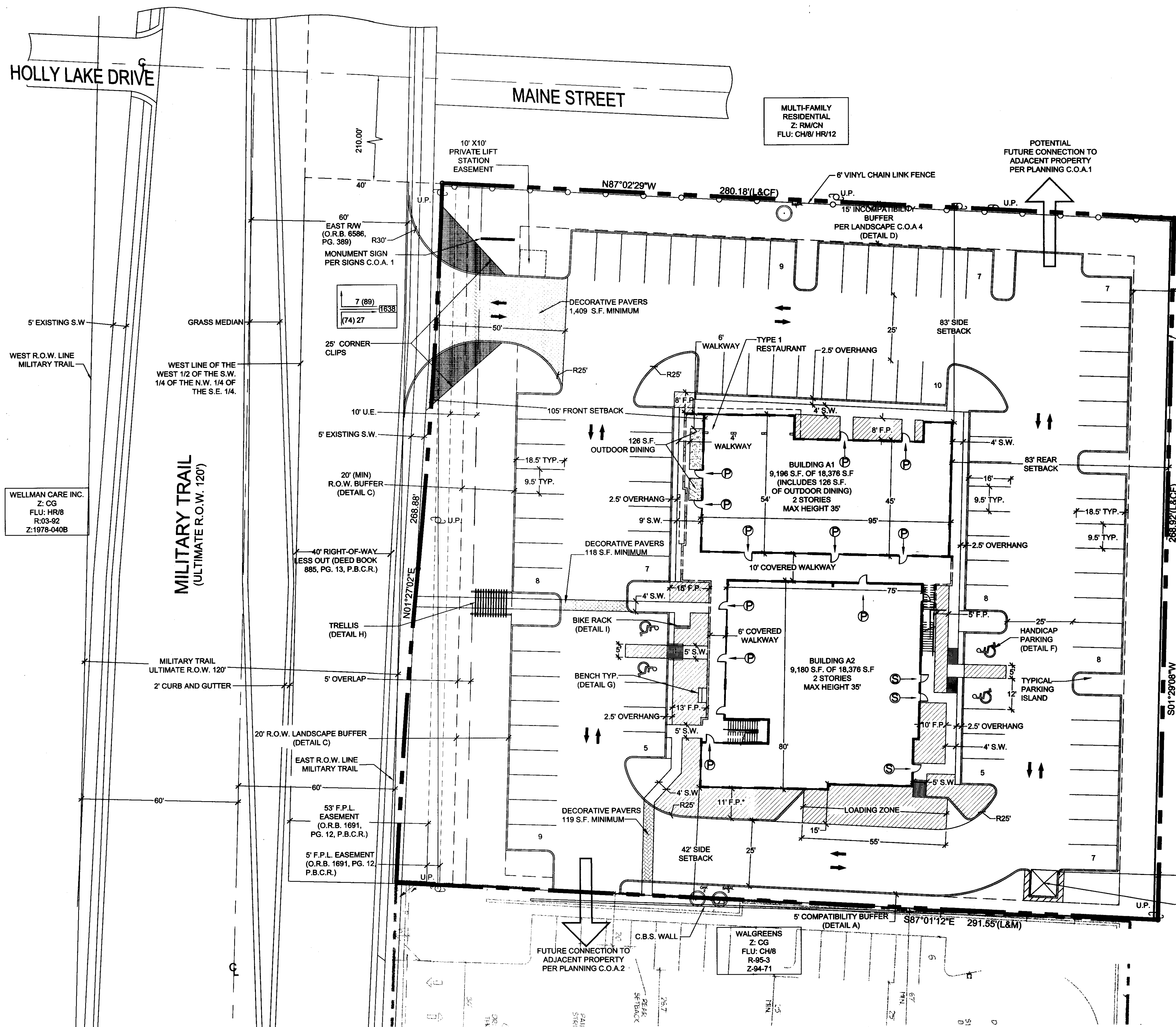
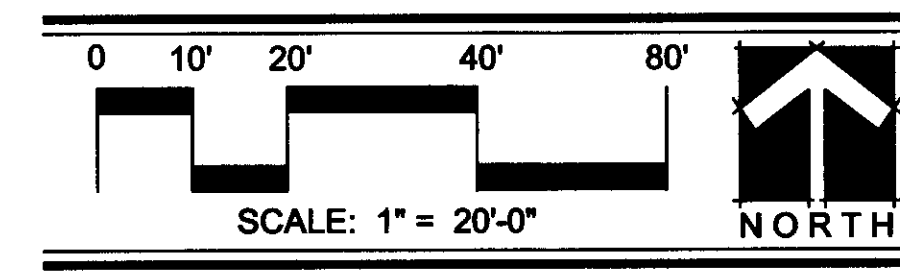


ZONING STAMPS



PROPERTY DEVELOPMENT REGULATIONS (PDR)

Table with columns for Zoning District, Minimum Lot Dimensions, FAR, Bldg. Cover, Pervious Surface Area, and Setbacks/Separation.



HOLLY LAKE DRIVE

MAINE STREET

MILITARY TRAIL (ULTIMATE R.O.W. 120')

FINAL SITE PLAN

ALL PETITIONS

1. Development of the site is limited to the site design approved by the Board of County Commissioners. The approved Site Plan is dated November 9, 2006. All modifications must be approved by the Board of County Commissioners unless the proposed changes are required to meet conditions of approval or are in accordance with the ULDC. (DRO: ZONING - Zoning)

ARCHITECTURAL REVIEW

1. At time of submittal for final Development Review Officer (DRO) approval, the architectural elevations for the structures shall be submitted simultaneously with the Site Plan for final architectural review and approval. Elevations shall be designed to be consistent with Article 5.C of the ULDC. Development shall be consistent with the approved architectural elevations, the DRO approved site plan, all applicable conditions of approval, and all ULDC requirements. (DRO: ARCH REVIEW - Zoning)

DUMPSTER

1. All areas or receptacles for the storage and disposal of trash, garbage, recyclable material or vegetation, such as dumpsters and trash compactors, shall not be located within thirty-five (35) feet of the north or east property line and shall be confined to the areas designated on the site plan. (DRO: ZONING - Zoning)

ENGINEERING

1. In order to comply with the mandatory Traffic Performance Standards, the Property owner shall be restricted to the following phasing schedule:

No Building Permits for the site may be issued after January 1, 2009. A time extension for this condition may be approved by the County Engineer based upon an approved Traffic Study which complies with Mandatory Traffic Performance Standards in place at the time of the request. This extension request shall be made pursuant to the requirements of Article 2, Section E of the Unified Land Development Code. (DATE: MONITORING-Eng)

2. Landscape Within the Median of Military Trail

A. The Property Owner shall design, install and perpetually maintain the median landscaping within the median of all abutting right of way of Military Trail. This landscaping and irrigation shall strictly conform to the specifications and standards for the County's Only Trees, Irrigation, and Sod (OTIS) program. Additional landscaping beyond OTIS requires Board of County Commissioners approval. Median landscaping installed by Property Owner shall be perpetually maintained by the Property Owner, his successors and assigns, without recourse to Palm Beach County, unless the Property Owner provides payment for maintenance as set forth in Paragraph d below.

B. The necessary permit(s) for this landscaping and irrigation shall be applied for prior to the issuance of the first building permit. (BLDG PERMIT: MONITORING-Eng)

C. All installation of the landscaping and irrigation shall be completed prior to the issuance of the first certificate of occupancy. (CO: MONITORING -Eng)

D. At Property Owner's option, when and if the County is ready to install OTIS on the surrounding medians of this roadway adjacent to the Property Owner installed landscaping, payment for the maintenance may be provided to the County. The payment shall be in the amount and manner that complies with the schedule for such payments that exists on the date payment is made. Once payment has been provided, Palm Beach County shall assume the maintenance responsibility for the OTIS landscaping and irrigation that has been installed by the Property Owner. The Property Owner shall first be required to correct any deficiencies in the landscaping and irrigation. This option is not available to medians with additional landscaping beyond OTIS standards, unless those medians are first brought into conformance with OTIS standards by the Property Owner.

E. Alternately, at the option of the Property Owner, and prior to the issuance of a Building Permit, the Property Owner may make a contribution to the County's Only Trees Irrigation and Sod, OTIS program, unincorporated thoroughfare beautification program. This payment, for the County's installation of landscaping and irrigation on qualifying thoroughfares shall be based on the project's front footage along Military Trail. This payment shall be in the amount and manner that complies with the schedule for such payments as it currently exists or as it may from time to time be amended.

LANDSCAPE - STANDARD

1. Prior to the issuance of a building permit, the property owner shall submit a Landscape Plan to the Landscape Section for review and approval. The Plan(s) shall be prepared in compliance with all landscape related conditions of approval as contained herein. (BLDG PERMIT: LANDSCAPE - Zoning)
2. A minimum of seventy-five (75%) percent of canopy trees to be planted in the landscape buffers shall be native and meet the following minimum standards at installation:
  - a. tree height: fourteen (14) feet;
  - b. trunk diameter: three and one-half (3.5) inches measured at four and one-half (4.5) feet above grade;
  - c. canopy diameter: seven (7) feet - diameter shall be determined by the average canopy radius measured at three (3) points from the trunk to the outermost branch tip. Each radius shall measure a minimum of three and one-half (3.5) feet in length; and,
  - d. credit may be given for existing or relocated trees provided they meet ULDC requirements. (BLDG PERMIT: LANDSCAPE - Zoning)
3. A group of three (3) or more palms may not supersede the requirement for a canopy tree in that location, unless specified herein. (BLDG PERMIT: LANDSCAPE - Zoning)

LANDSCAPING ALONG THE NORTH PROPERTY LINE (ABUTTING RESIDENTIAL)

4. In addition to code requirements, proposed landscaping along the north property line shall be upgraded to include:
  - a. a six (6) foot high black, vinyl chain link fence. Height of the fence shall be measured from the highest grade of the two adjoining properties or from the nearest adjacent finished floor of the proposed structure. Method of height shall be finalized subject to the review and approval by the Landscape Section;
  - b. one (1) palm or pine for each for each thirty (30) linear feet of the property line with a maximum spacing of sixty (60) feet between clusters; and,
  - c. a six (6) foot high hedge to be installed along the exterior side of the fence. (BLDG PERMIT: LANDSCAPE - Zoning)

LANDSCAPING ALONG THE EAST PROPERTY LINE (ABUTTING RESIDENTIAL)

5. In addition to code requirements, landscaping along the east property line shall be upgraded to include:
  - a. a six (6) foot high opaque concrete panel wall. Height of the wall shall be measured from the highest grade of the two adjoining properties or from the nearest adjacent finished floor of the proposed structure. Method of height shall be finalized subject to the review and approval by the Landscape Section to ensure screening effect is achieved for the adjacent property. Both sides of the wall shall be given a finished architectural treatment that is consistent with the color and style of the principal structure; and,
  - b. one (1) palm or pine for each for each thirty (30) linear feet of the property line with a maximum spacing of sixty (60) feet between clusters. (BLDG PERMIT: LANDSCAPE - Zoning)

LIGHTING

1. All outdoor, freestanding lighting fixtures shall not exceed twenty-five (25) feet in height measured from finished grade to highest point. (BLDG PERMIT: BLDG - Zoning)
2. All outdoor, freestanding lighting fixtures shall be setback thirty (30) feet from the north and east property line. (BLDG PERMIT: BLDG - Zoning)
3. The lighting conditions above shall not apply to proposed low voltage landscape/accent type lights used to emphasize plant material. (ONGOING: CODE ENF - Zoning)

PARKING

1. Overnight storage or parking of delivery vehicles or trucks shall not be permitted on the property, except within designated loading and delivery areas. (ONGOING: CODE ENF - Zoning)

PLANNING

1. Prior to final approval by the Development Review Officer (DRO), the property owner shall record a cross access easement from the subject property to the parcel to north at the location indicated on the certified site plan, dated November 9, 2006, in a form acceptable to the County Attorney. The location may be adjusted subject to approval by the Planning Division. (DRO: CO ATTY - Planning)
2. Prior to final approval by the Development Review Officer (DRO), the property owner shall record a cross access easement from the subject property to the parcel to south at the location indicated on the certified site plan, dated November 9, 2006, in a form acceptable to the County Attorney. The location may be adjusted subject to approval by the Planning Division. (DRO: CO ATTY - Planning)
3. Prior to the issuance of the certificate of occupancy (CO) or certificate of completion (CC), whichever shall occur first, the property owner shall pave the future connection to the edge of the southern property line. A pedestrian connection shall also be required to the greatest extent possible and to include designation of pedestrian cross walks in the drive isle. (CO/CC: MONITORING - Planning)
4. The property owner shall pave the future connection to the edge of the northern property line at the time a similar cross access connection is provided on the property to the north subject to the cross access easement and approval of the Planning Director. A pedestrian connection shall also be required to the greatest

extent possible and to include designation of pedestrian cross walks in the drive isle. (ONGOING: CODE ENF - Planning)

SIGNS

1. Freestanding signs fronting on Military Trail shall be limited as follows:
  - a. maximum sign height, measured from finished grade to highest point - ten (10) feet;
  - b. maximum sign face area per side - one hundred (100) square feet;
  - c. maximum number of signs - one (1);
  - d. style - monument style only; and,
  - e. signs shall be limited to identification of project name and tenants only. (BLDG PERMIT: BLDG - Zoning)

UTILITIES

1. If any relocations/modifications to the County's existing facilities are required that are a direct or indirect result of the development, the developer shall pay for the complete design and construction costs associated with these relocations/modifications.

COMPLIANCE

1. In granting this approval, the Board of County Commissioners relied upon the oral and written representations of the petitioner both on the record and as part of the application process. Deviations from or violation of these representations shall cause the approval to be presented to the Board of County Commissioners for review under the compliance condition of this approval. (ONGOING: MONITORING - Zoning)

2. Failure to comply with any of the conditions of approval for the subject property at any time may result in:

The issuance of a stop work order; the issuance of a cease and desist order; the denial or revocation of a building permit; the denial or revocation of a Certificate of Occupancy; the denial of any other permit, license or approval to any developer, owner, lessee, or user of the subject property; the revocation of any other permit, license or approval from any developer, owner, lessee, or user of the subject property; revocation of any concurrency; and/or

- a. The revocation of the Official Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or any other zoning approval; and/or
- b. A requirement of the development to conform with the standards of the ULDC at the time of the finding of non-compliance, or the addition or modification of conditions reasonably related to the failure to comply with existing conditions; and/or
- c. Referral to code enforcement; and/or
- d. Imposition of entitlement density or intensity.

Staff may be directed by the Executive Director of PZ&B or a Code Enforcement Special Master to schedule a Status Report before the body which approved the Official Zoning Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or other zoning approval, in accordance with the provisions of Article 2.E of the ULDC, in response to any flagrant violation and/or continued violation of any condition of approval.

Appeals of any departmental administrative actions hereunder may be taken to the Palm Beach County Board of Adjustment or as otherwise provided in the Unified Land Development Code (ULDC), as amended. Appeals of any revocation of an Official Zoning Map Amendment, Conditional Use, Requested Use, Development Order Amendment or other actions based on a Board of

County Commission decision shall be by petition for writ of certiorari to the Fifteenth Judicial Circuit. (ONGOING: MONITORING - Zoning)

This Resolution is effective when filed with the Clerk of the Board of County Commissioners.



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PALM BEACH COUNTY, FLORIDA

ZONING STAMPS

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CONDITIONS OF APPROVAL

2101 Centrepark West Drive, Suite 100  
West Palm Beach, FL 33409  
561-478-8501

SCALE: NTS

DRAWN BY: AN/JZ

948.19 SITE PLANS 2007-04-23 DRO resubmittal 948.19

DRAWING #: 948.19

FILE #: 948.19

DATE: 06-07-06

08-29-06 11-09-06 04-23-07

REVISED: 09-26-06 11-14-06 05-29-07

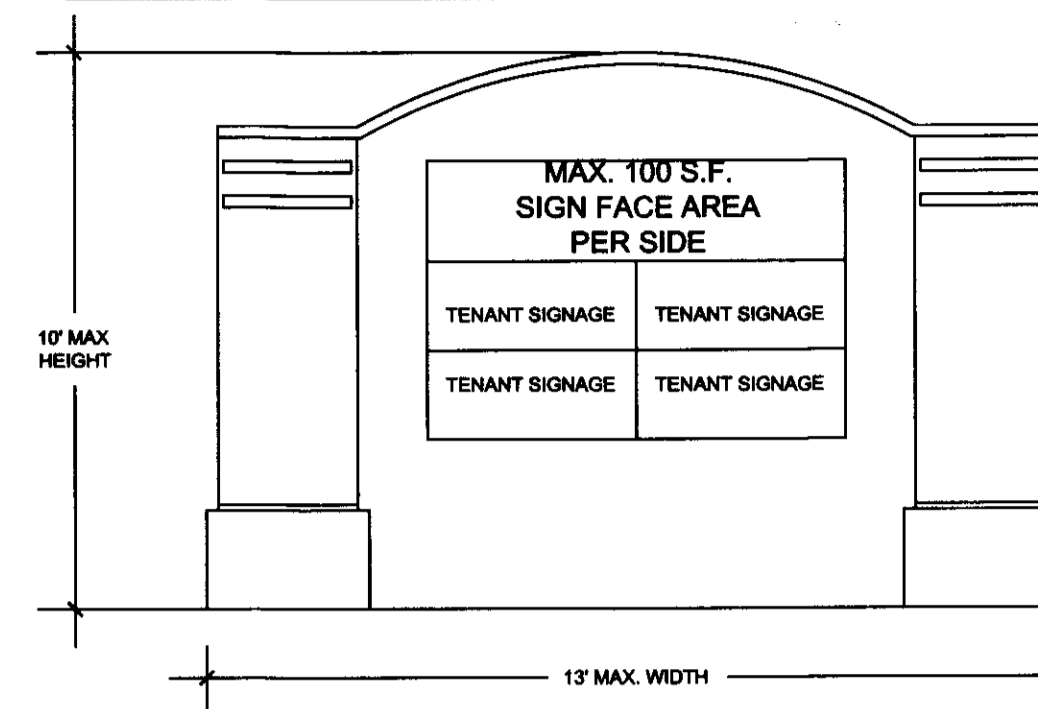
10-24-06 02-21-07



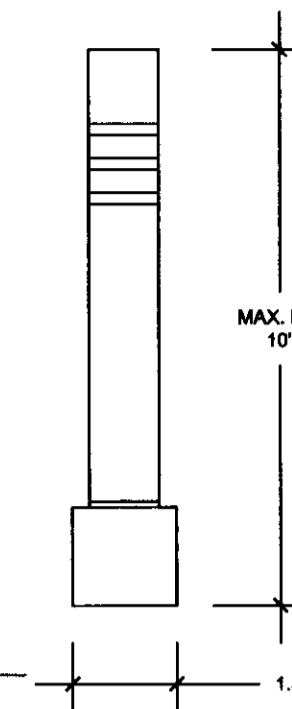
**① MONUMENT SIGN DETAIL (PER SIGNS C.O.A.1)**

NOTE: ALL COLORS AND MATERIALS FOR THE MONUMENT SIGN CONSTRUCTION WILL MATCH APPROVED BUILDING ARCHITECTURE.  
-ALL SIGNS MUST MEET THE MINIMUM 5' SETBACK.  
-MAXIMUM NUMBER OF SIGNS ALLOWED IS 1.  
-SIGNS SHALL BE LIMITED TO IDENTIFICATION OF PROJECT NAME AND TENANTS ONLY.

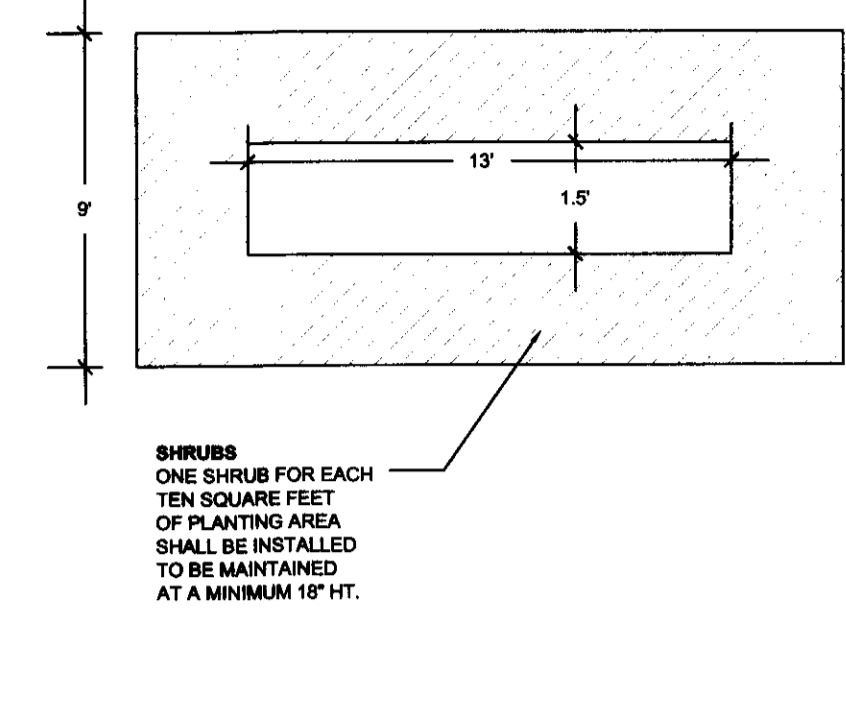
**FRONT ELEVATION**



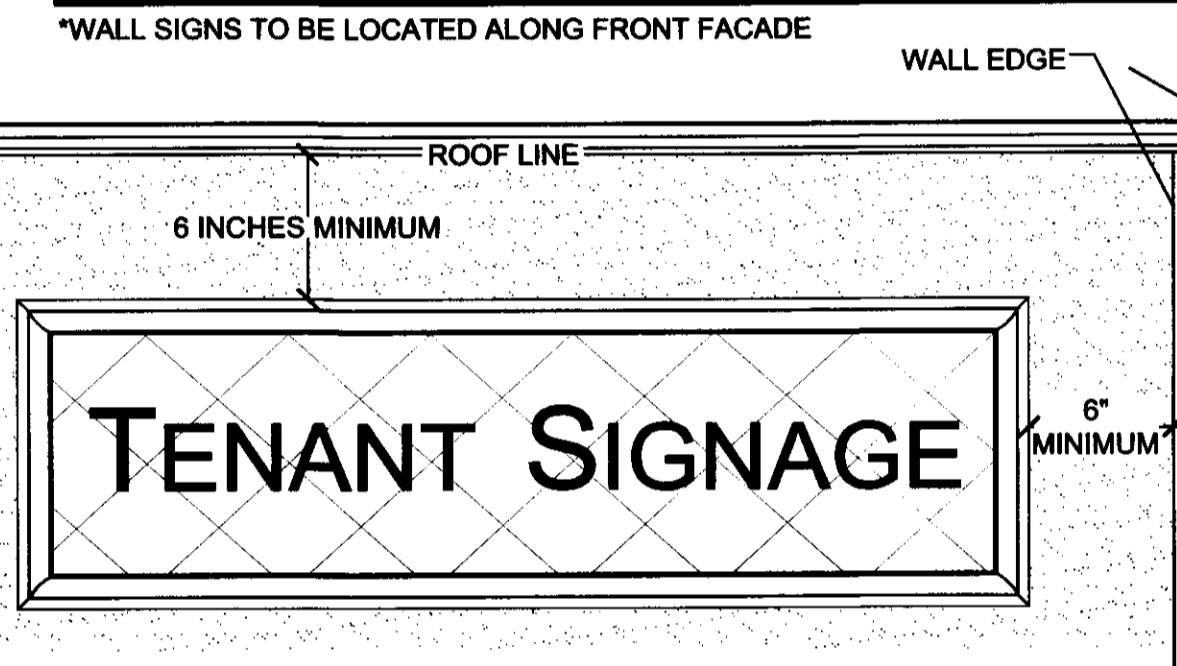
**SECTION**



**TYPICAL SIGNAGE LANDSCAPING**



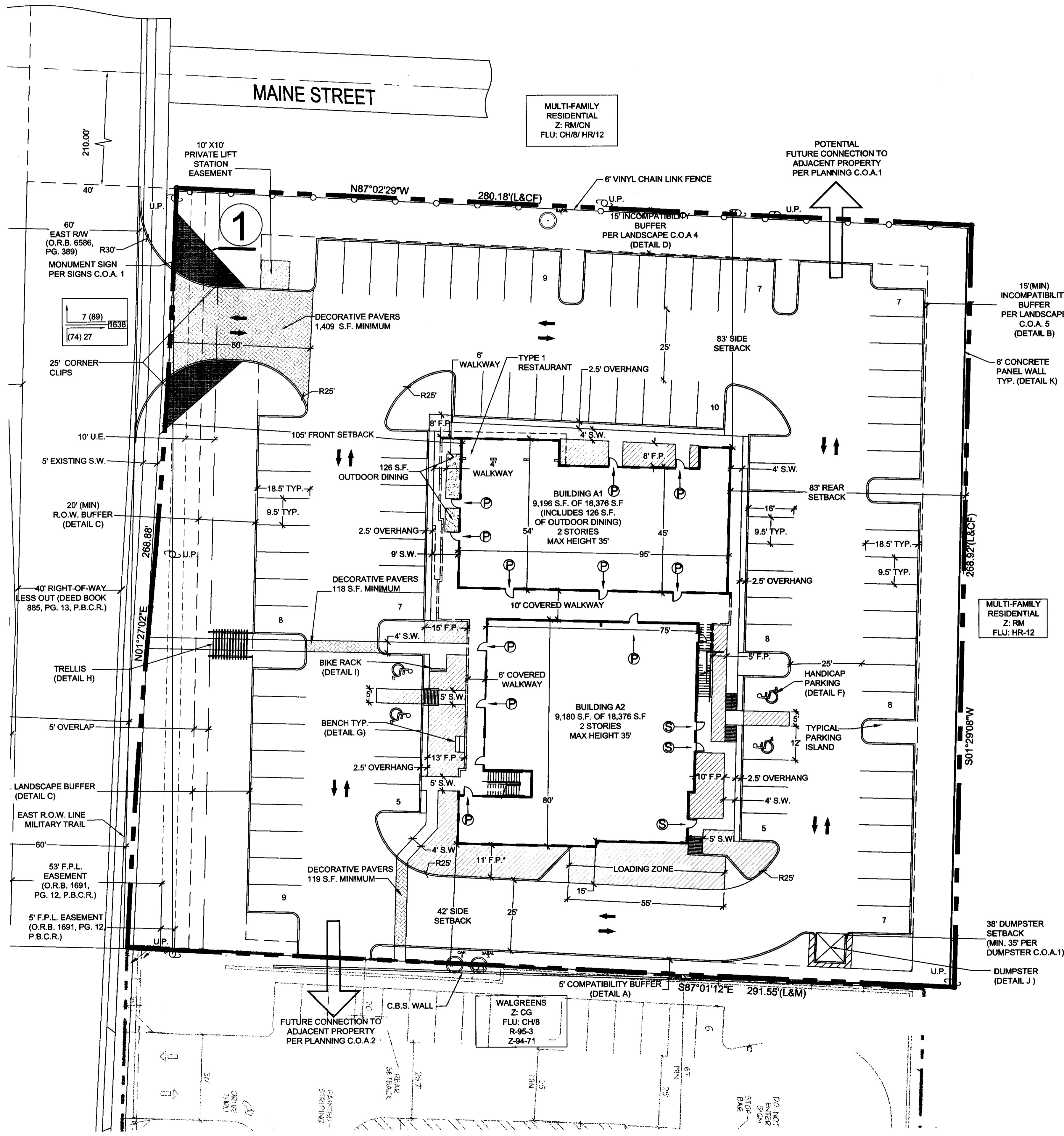
**② WALL SIGN DETAIL**



-MAXIMUM SIGN AREA PER LINEAR FT OF BLDG FACADE:  
FRONT: 1.0 SQ. FT. SIDE & REAR (NOT FACING RESIDENTIAL): 0.5 SQ. FT.  
-MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN SIGNS IS 3 FT.  
-MAXIMUM PROJECTION FROM SURFACE OF BUILDING IS 24 INCHES  
-ARCHITECTURAL COLORS TO BE CONSISTENT WITH SURROUNDING BUILDINGS

**WALL SIGN BUDGET:**

# OF SIGNS	MAX SQ.FT.	WALL DIM. (LF.)
10	FRONT 143	143
0	SOUTH SIDE 40	80

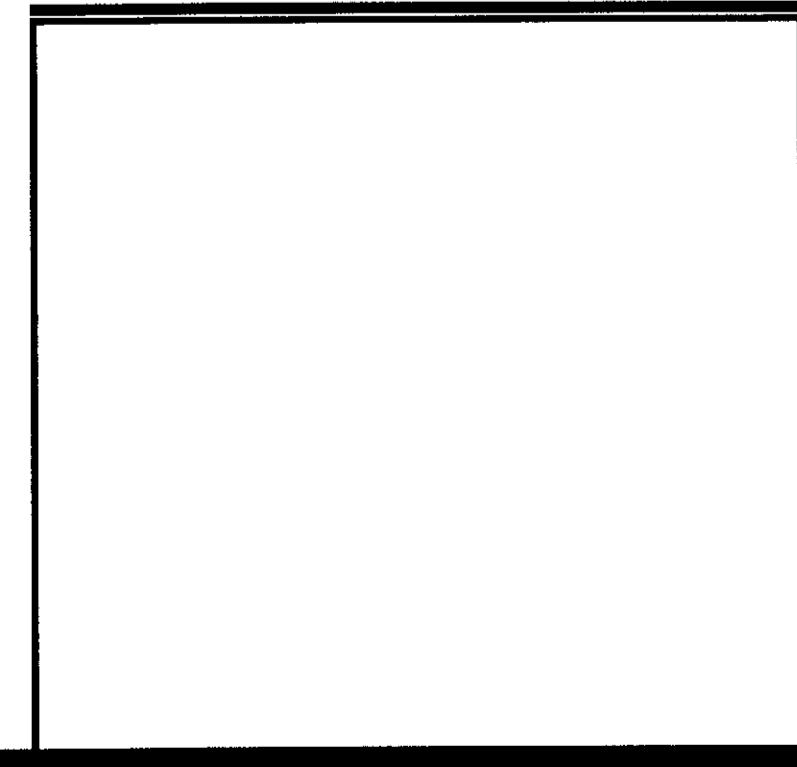


**MASTER SIGN PLAN**

2101 Centrepark West Drive, Suite 100  
West Palm Beach, FL 33409  
561-478-8501

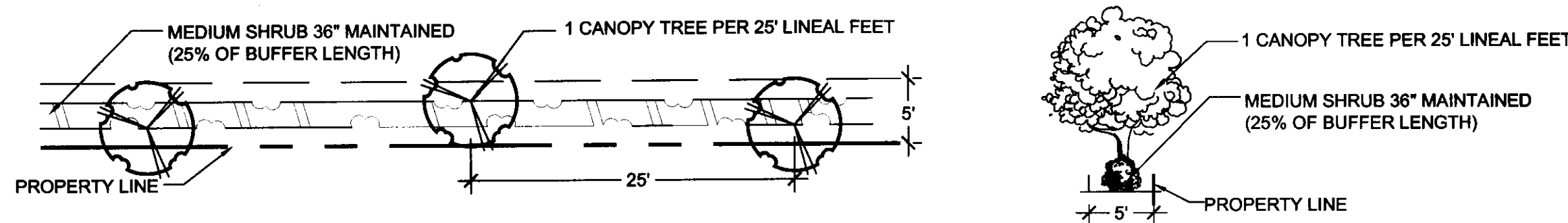
SCALE: NTS  
DRAWN BY: AN/JZ  
948.19 SITE PLANS 2007-04-23 DRO resubmittal 948.19  
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**ZONING STAMPS**



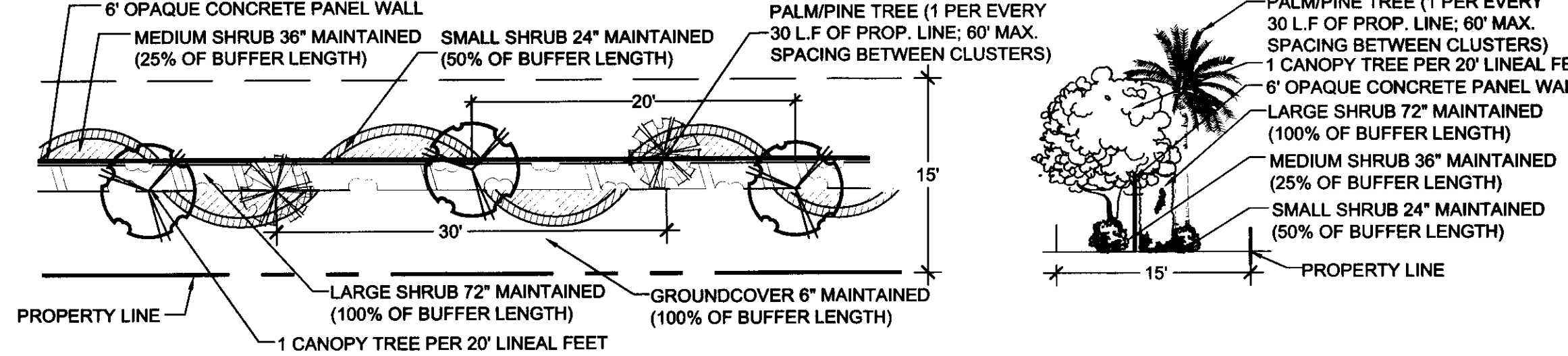
### A) 5' COMPATIBILITY BUFFER

NOTE: ALONG SOUTH PROPERTY LINE  
\*FPL PLANTING GUIDELINES SHALL APPLY TO ALL BUFFERS LOCATED WITHIN AN FPL EASEMENT.



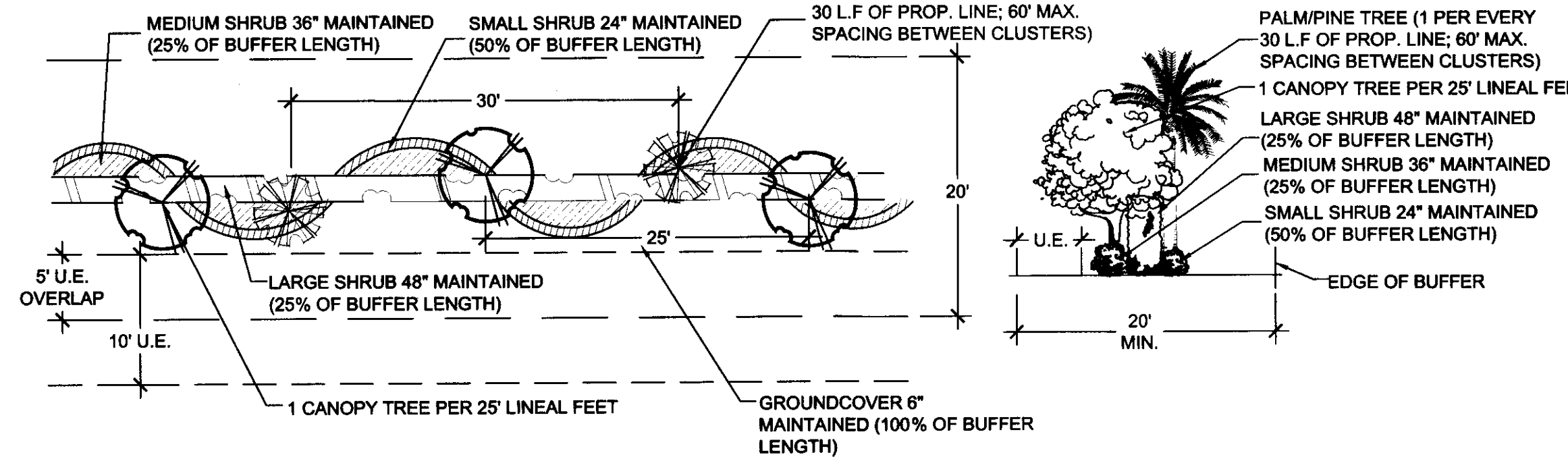
### B) 15' INCOMPATIBILITY BUFFER (PER LANDSCAPE C.O.A.5)

NOTE: ALONG EAST PROPERTY LINE  
\*FPL PLANTING GUIDELINES SHALL APPLY TO ALL BUFFERS LOCATED WITHIN AN FPL EASEMENT.



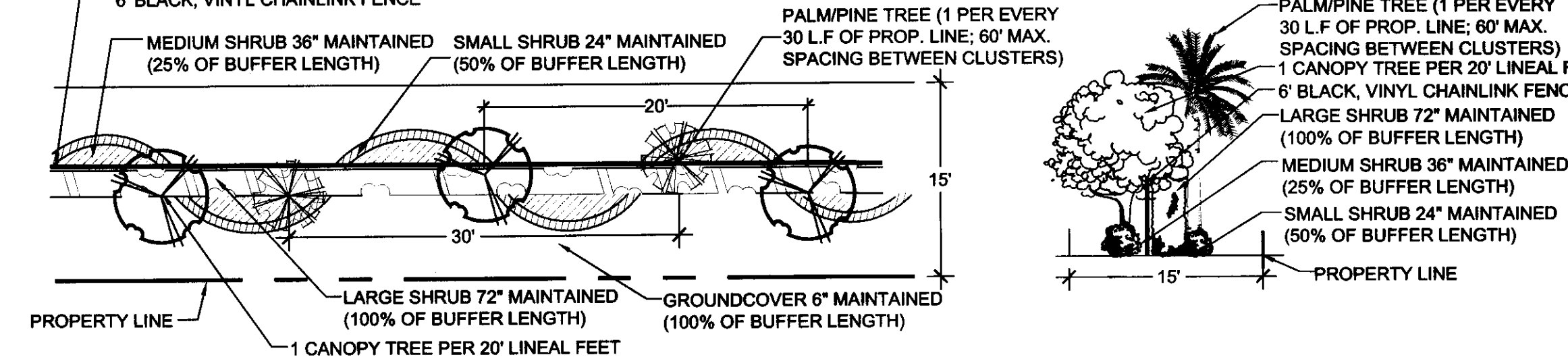
### C) 20' R.O.W. BUFFER

NOTE: ALONG WEST PROPERTY LINE  
\*FPL PLANTING GUIDELINES SHALL APPLY TO ALL BUFFERS LOCATED WITHIN AN FPL EASEMENT.



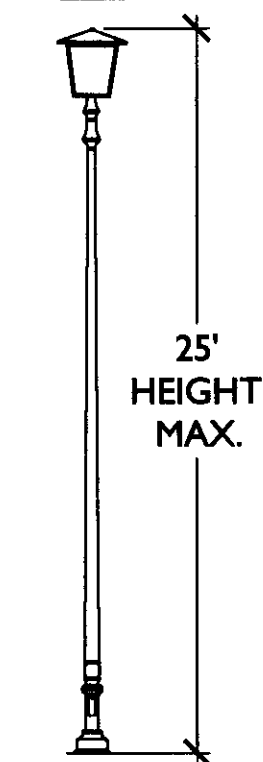
### D) 15' INCOMPATIBILITY BUFFER (PER LANDSCAPE C.O.A.4)

NOTE: ALONG NORTH PROPERTY LINE  
\*FPL PLANTING GUIDELINES SHALL APPLY TO ALL BUFFERS LOCATED WITHIN AN FPL EASEMENT.



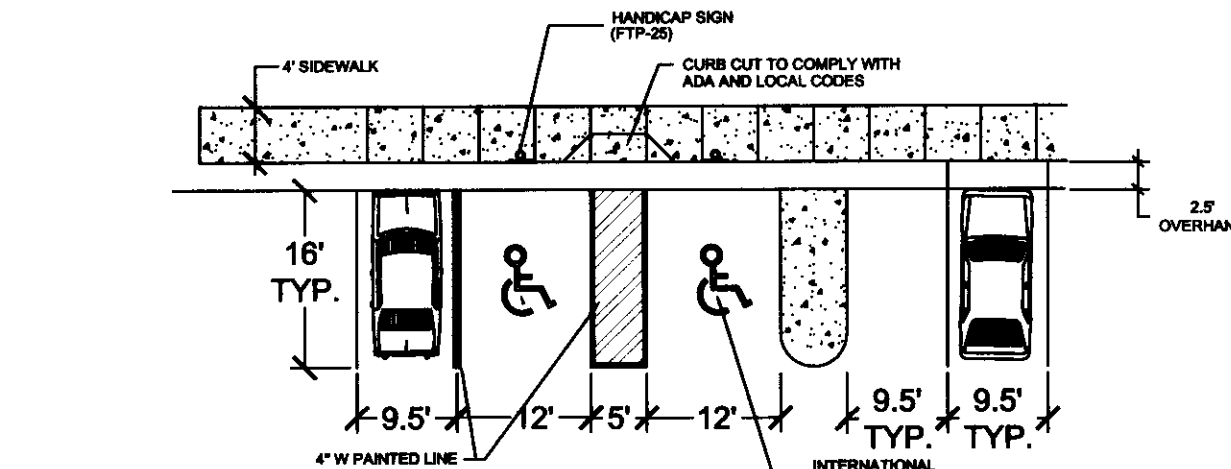
### E) TYPICAL LIGHTING DETAIL

NOTE: NTS  
- PER C.O.A.1  
- ALL OUTDOOR, FREESTANDING LIGHTING FEATURES SHALL BE SETBACK 30 FEET FROM THE NORTH AND EAST PROPERTY LINE  
- LIGHTING FIXTURE TO BE DETERMINED BY DEVELOPER.  
ELEVATION

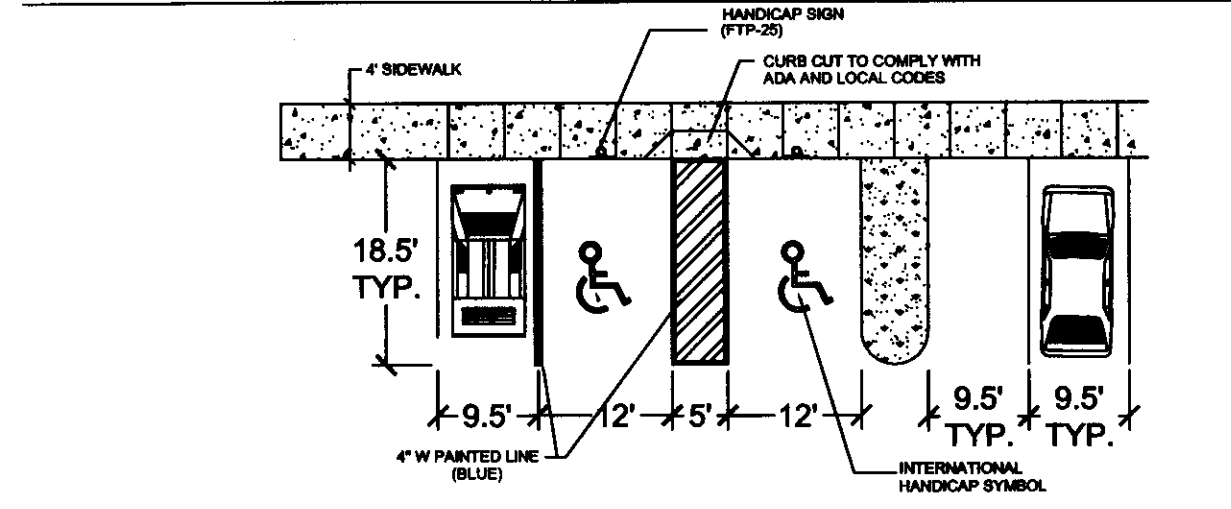


### F) HANDICAP/PARKING DETAIL

TYPICAL PARKING DETAIL WITH 2.5' OVERHANG N.T.S.

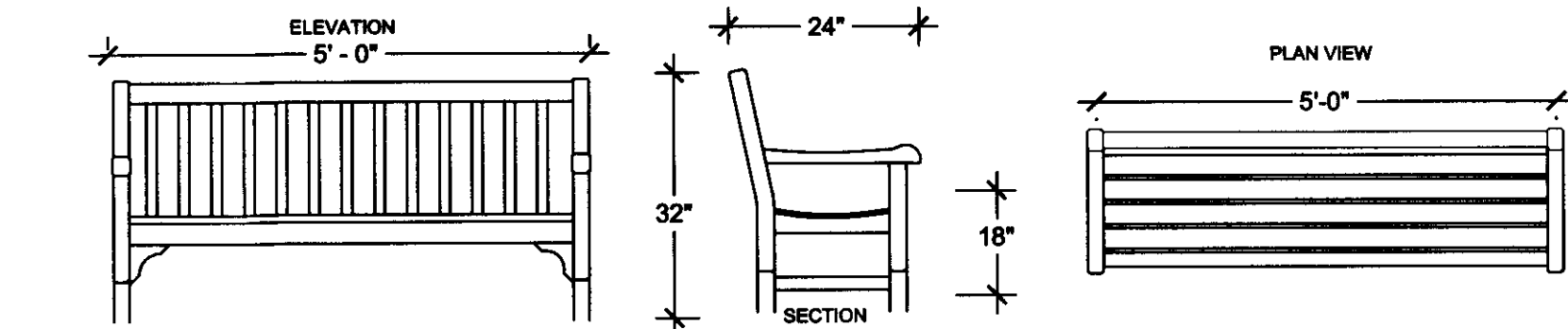


TYPICAL PARKING DETAIL



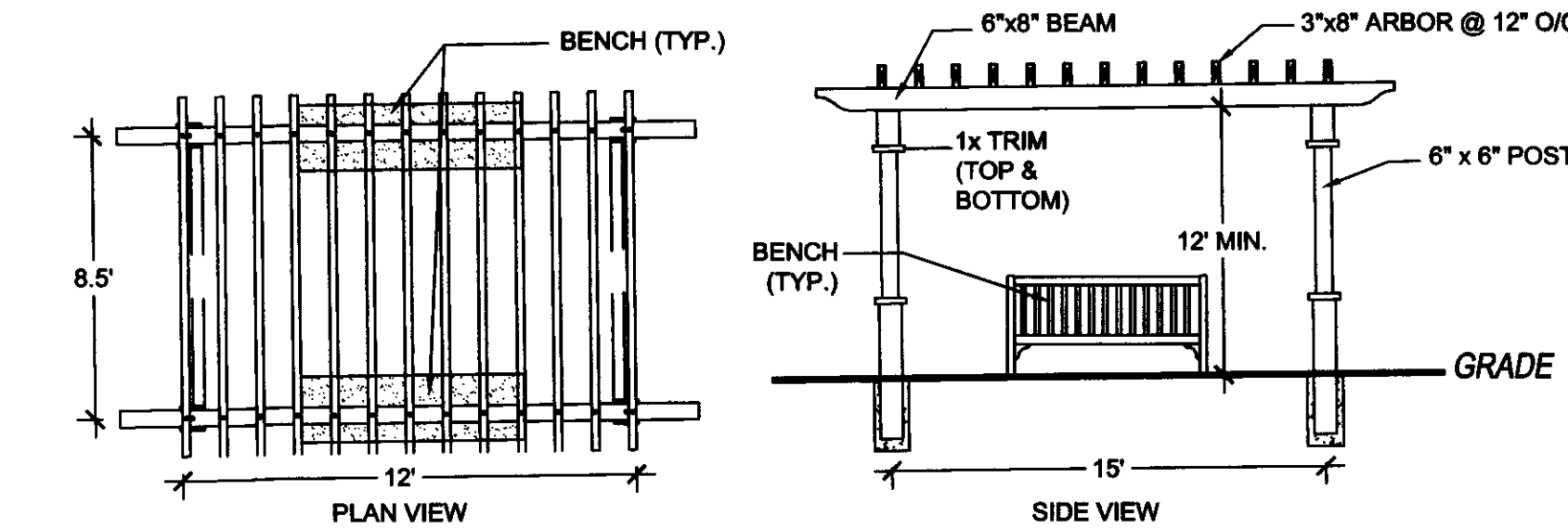
### G) BENCH DETAIL

NOTE: \*ACTUAL BENCH TO BE DETERMINED BY DEVELOPER. N.T.S.

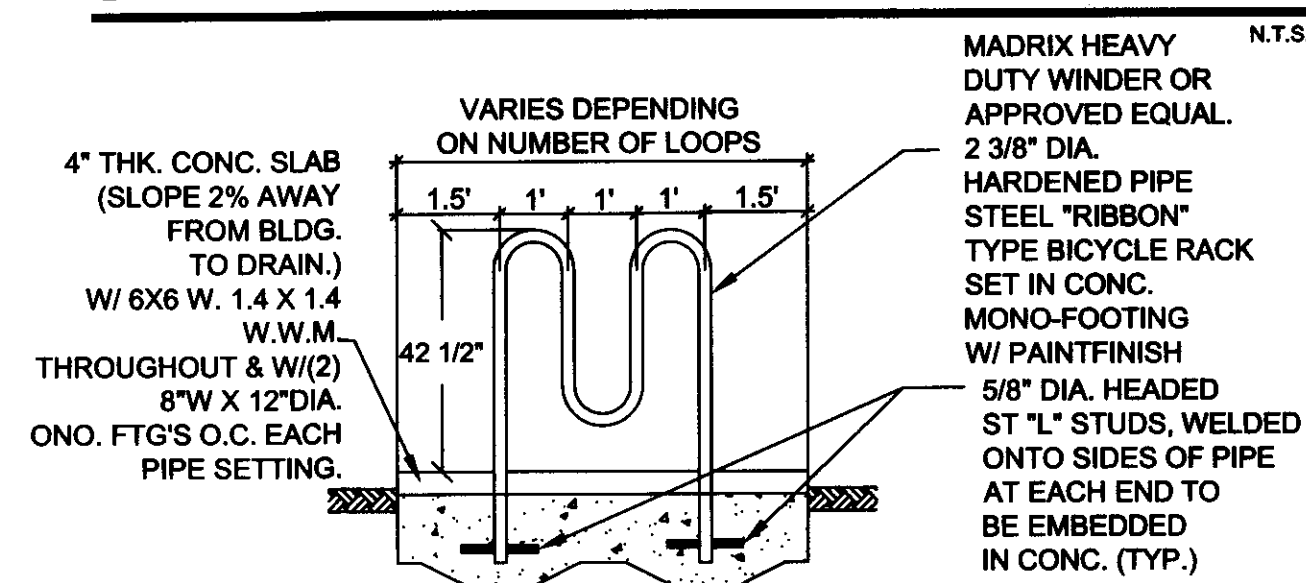


### H) TRELLIS DETAIL

NOTE: 1. TRELLIS COLORS AND DESIGN TO BE CONSISTENT WITH PROPOSED ARCHITECTURE  
2. TWO BENCHES (MIN 4' WIDTH) SHALL BE PLACED ON EITHER SIDE OF TRELLIS BENCHES TO BE ORIENTED TOWARD, BUT NOT LOCATED OFF THE ADJACENT PEDESTRIAN PATH.  
3. ONE CLIMBING VINE SHALL BE INSTALLED AT THE BASE OF EACH TRELLIS POST. N.T.S.

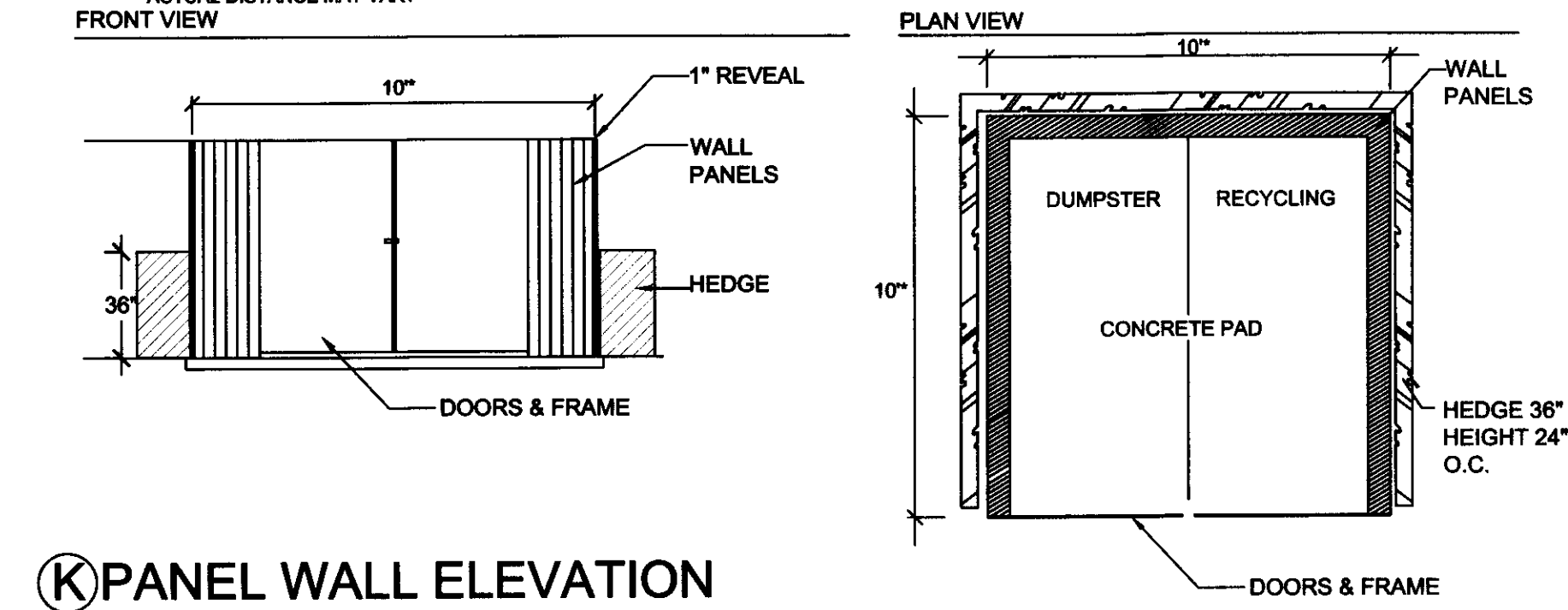


### I) BIKE RACK DETAIL



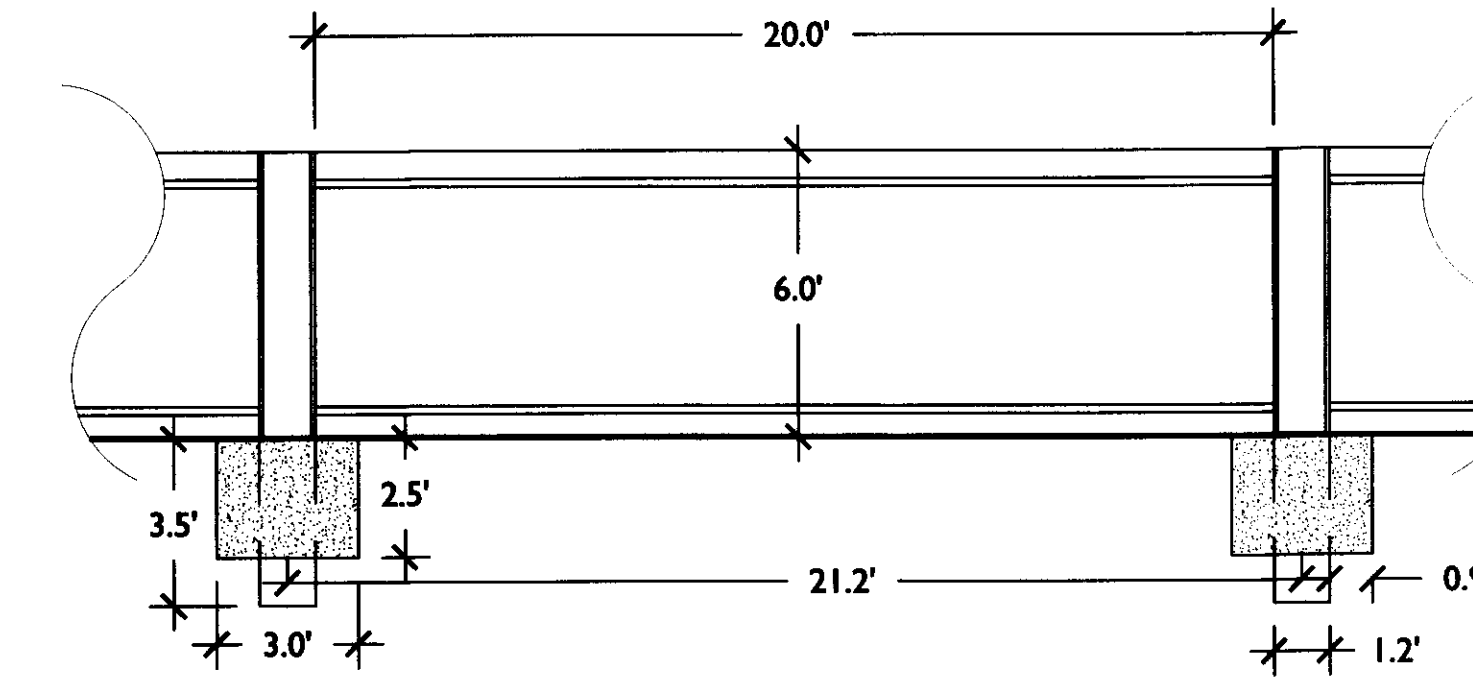
### J) DUMPSTER DETAIL (PER DUMPSTER C.O.A.1)

NOTE: 1. COLOR AND FINISH TO BE COMPATIBLE WITH APPROVED ARCHITECTURE  
2. 36" LANDSCAPE HEDGE PLANTED ALONG OUTSIDE PERIMETER OF ENCLOSURE (24" O.C.)  
3. DUMPSTER SHALL NOT BE LOCATED WITHIN 35 FEET OF THE NORTH OR EAST PROPERTY LINE AND SHALL BE CONFINED TO THE AREAS DESIGNATED ON THE SITE PLAN.  
\*ACTUAL DISTANCE MAY VARY. N.T.S.



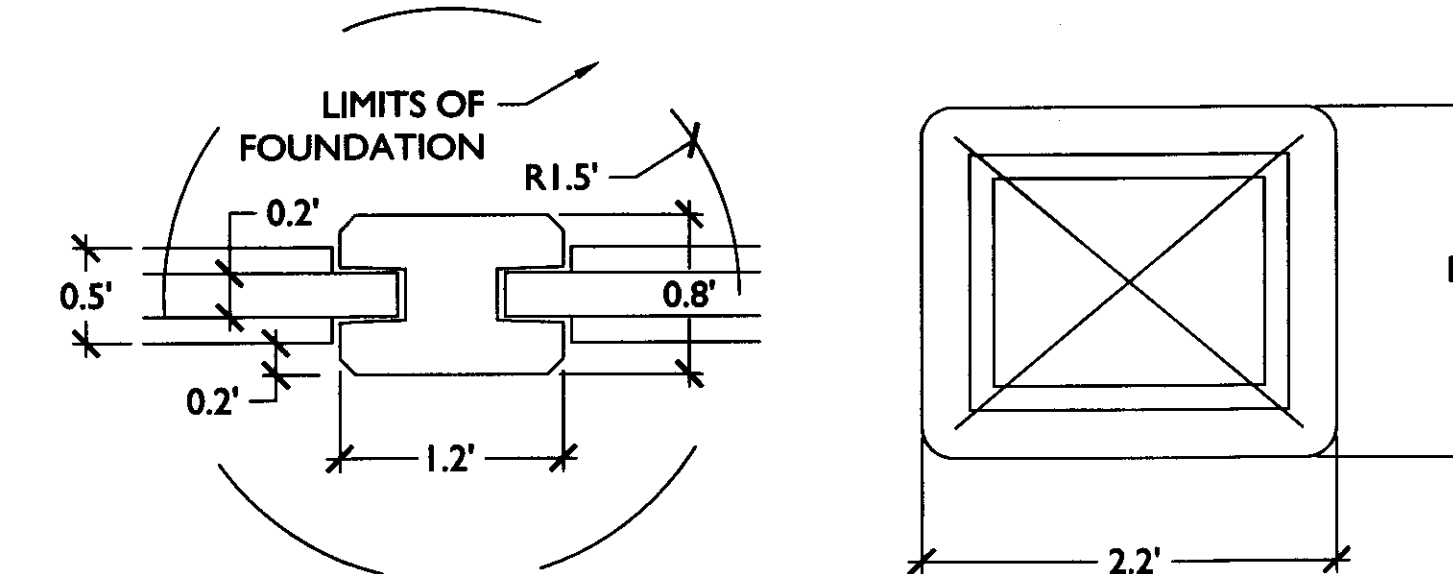
### K) PANEL WALL ELEVATION

SCALE: 1/4" = 1'-0"



### WALL PANEL TO LINE POST PLAN

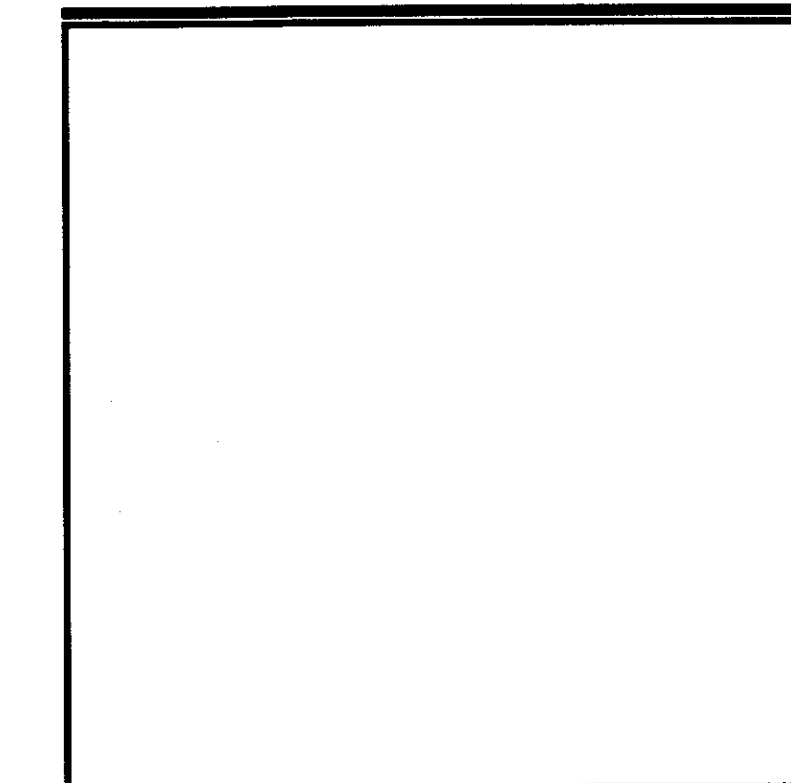
SCALE: 1" = 1'-0"



### TREE REQUIREMENT CHART

REQUIRED/PROPOSED PERIMETER BUFFER VEGETATION	QTY.
<b>BUFFER TREES</b>	
5' COMPATIBILITY BUFFER (20' LF.)	1 CANOPY TREE 20' O.C. 12
15' INCOMPATIBILITY BUFFER (200' LF.)	1 CANOPY TREE 20' O.C. 14
ALONG NORTHERN PROPERTY LINE	1 PALMPINE PER 30' O.C. 0
15' INCOMPATIBILITY BUFFER (200' LF.)	1 CANOPY TREE 20' O.C. 14
ALONG EASTERN PROPERTY LINE	1 PALMPINE PER 30' O.C. 0
20' R.O.W. BUFFER (200' LF.)	1 CANOPY TREE 20' O.C. 11
<b>BUFFER SHRUBS</b>	
5' COMPATIBILITY BUFFER (200' LF.)	MED. SHRUB-24" O.C. MIN. HT. 24" (100% LENGTH) 140
15' INCOMPATIBILITY BUFFER (200' LF.)	LG SHRUB - 48" O.C. MIN. HT. 72" (100% LENGTH) 70
	MED. SHRUB - 30" O.C. MIN. HT. 24" (25% LENGTH) 28
	SM. SHRUB - 24" O.C. MIN. HT. 18" (50% LENGTH) 70
	GROUNDCOVER - 6" O.C. (100% LENGTH) 560
15' INCOMPATIBILITY BUFFER (200' LF.)	LG SHRUB - 48" O.C. MIN. HT. 72" (100% LENGTH) 68
	MED. SHRUB - 30" O.C. MIN. HT. 24" (25% LENGTH) 27
	SM. SHRUB - 24" O.C. MIN. HT. 18" (50% LENGTH) 66
	GROUNDCOVER - 6" O.C. (100% LENGTH) 538
20' R.O.W. BUFFER (200' LF.)	LG SHRUB - 48" O.C. MIN. HT. 72" (25% LENGTH) 17
	MED. SHRUB - 30" O.C. MIN. HT. 24" (25% LENGTH) 27
	SM. SHRUB - 24" O.C. MIN. HT. 18" (50% LENGTH) 67
	GROUNDCOVER - 6" O.C. (100% LENGTH) 566
INTERIOR TREES	1 PER 2,000 S.F. OF PERVIOUS AREA 12
INTERIOR MEDIUM SHRUBS	3 PER 2,000 S.F. OF PERVIOUS AREA 35
TOTAL CANOPY TREES	52
TOTAL PALMPINE TREES	18
TOTAL LARGE SHRUBS	154
TOTAL MEDIUM SHRUBS	263
TOTAL SMALL SHRUBS	204
TOTAL GROUNDCOVER	1834

### ZONING STAMPS



### REGULATING PLAN

2101 Centrepark West Drive, Suite 100  
West Palm Beach, FL 33409  
561-478-8501

SCALE: NTS

DRAWN BY: AN/JZ

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SHEET #


2 OF 4



# Cobblestone Square - APPROVED Site Plan



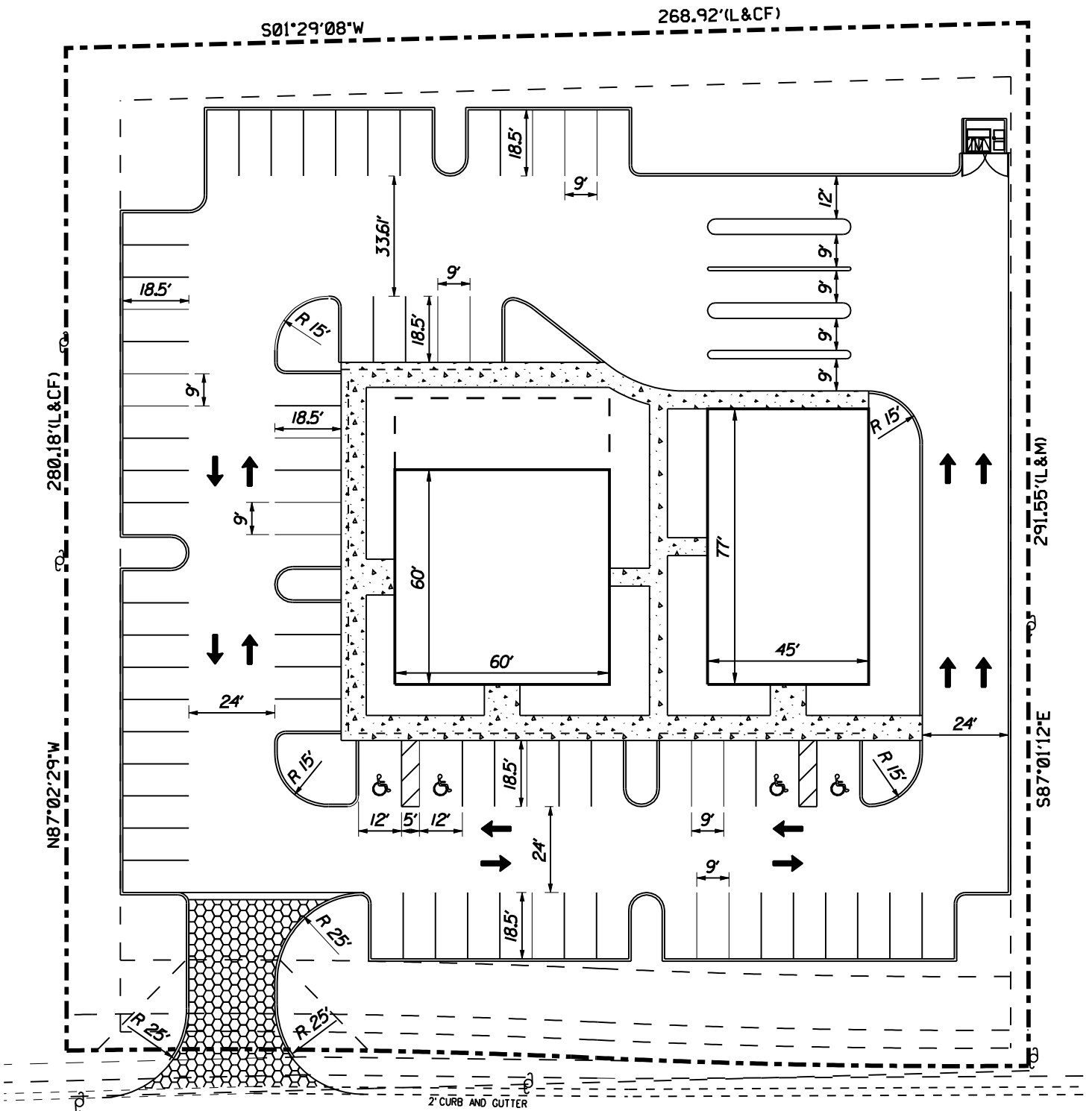
Military Trail

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David Remland  
Broker

561.809.8610  
3351 N.W. Boca Raton Blvd.  
Boca Raton, FL 33431  
david@remlandcommercial.com  
www.remlandcommercial.com

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2' CURB AND GUTTER

ASPHALT ROADWAY

GRASS MEADIAN

2' CURB AND GUTTER

# MILITARY TRAIL

ASPHALT ROADWAY

2' CURB AND GUTTER

CONCRETE WALK